

ISSUED FOR

- 1 2024-10-29 CONCEPT SITE PLAN (ver.6)
- 2 2024-02-18 CONCEPT SITE PLAN (ver.7)
- 3 2025-03-10 CONCEPT SITE PLAN (ver.8)
- 4 2025-03-24 CONCEPT SITE PLAN (ver.9)
- 5 2025-04-11 CONCEPT SITE PLAN (ver.10)
- 6 2025-08-07 CONCEPT SITE PLAN (ver.11)

METRIC

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KEYPLAN

SEAL

## PINEHURST DEVELOPMENT

39 CARSS STREET  
ALMONTE, ON K0A 1A0

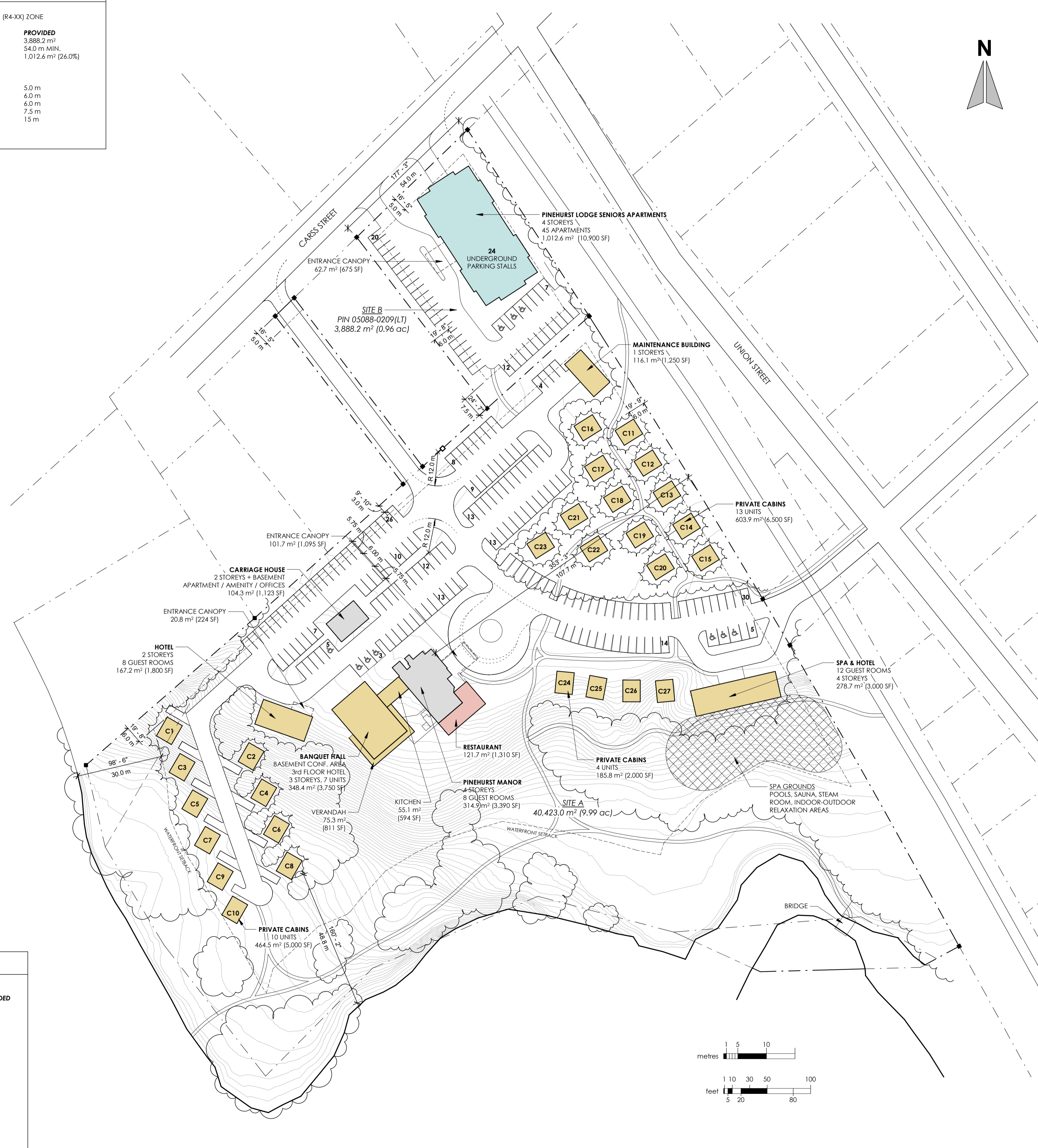
### CONCEPT SITE PLAN

DRAWN: GJG  
PLOT DATE: 2025-08-27 3:02:20 PM

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SITE A CALCULATIONS			SITE B CALCULATIONS		
ZONE: RESIDENTIAL FOURTH DENSITY, SPECIAL PROVISIONS (R4-YY) ZONE			ZONE: RESIDENTIAL FOURTH DENSITY, SPECIAL PROVISIONS (R4-XX) ZONE		
<b>BY-LAW CATEGORY</b>	<b>REQUIREMENT</b>	<b>PROVIDED</b>	<b>BY-LAW CATEGORY</b>	<b>REQUIREMENT</b>	<b>PROVIDED</b>
LOT AREA	600 m <sup>2</sup> MIN.	40,423.0 m <sup>2</sup>	LOT AREA	600 m <sup>2</sup> MIN.	3,888.2 m <sup>2</sup>
LOT FRONTAGE	30 m MIN.	-	LOT FRONTAGE	30.0 m MIN.	54.0 m MIN.
LOT COV. - BUILDING	-	2,835.9 m <sup>2</sup>	LOT COVERAGE	40% (1,750 m <sup>2</sup> ) MAX.	1,012.6 m <sup>2</sup> (26.0%)
LOT COV. - CANOPY	-	122.5 m <sup>2</sup>	AMENITY SPACE	-	-
LOT COV. TOTAL	45% (18,167 m <sup>2</sup> ) MAX.	7.3% (2,958.4 m <sup>2</sup> )	LANDSCAPED AREA	-	-
LANDSCAPED AREA	-	-	FRONT YARD	5.0 m	5.0 m
FRONT YARD (NW)	5.0 m	6.0 m	INTERIOR YARD (N)	6.0 m	6.0 m
INTERIOR YARD (NE)	6.0 m	6.0 m	INTERIOR YARD (S)	6.0 m	6.0 m
INTERIOR YARD (SE-EP ZONE)	30.0 m	30.0 m	REAR YARD	7.5 m	7.5 m
REAR YARD (SE-EP ZONE)	30.0 m	30.0 m	MAX. BLD. HEIGHT	11 m	15 m
MAX. BLD. HEIGHT	11 m	14 m			

GENERAL SITE INFORMATION	
PROPERTY AREA:	44,312 m <sup>2</sup> (476,966 SF)
LEGAL DESCRIPTION:	PART OF LOTS 16 AND 17 CONCESSION 9 GEOGRAPHIC TOWNSHIP OF SASKAY, FORMERLY TOWN OF ALMONTE, NOW IN THE TOWN OF MISSISSIPPI MILLS, COUNTY OF LANARK
SURVEY:	DRAWING BASED ON SURVEY BY McINTOSH PERRY SURVEYING INC. DATED MARCH 4, 2019, JOB NUMBER 18-4381, DRAWING D18-4381



PARKING CALCULATIONS					
BUILDING (SITE PART)	USE TYPE	UNIT RATE	UNITS / AREA (m <sup>2</sup> )	REQ'D SPACES	SPACES PROVIDED
<b>PART A</b>					
PINEHURST MANOR	BED & BREAKFAST	1.0x / GUEST ROOM	8 GUEST ROOMS	8	10
RESTAURANT	RESTAURANT	3x / 50m <sup>2</sup> + 10x / 100m <sup>2</sup>	176.8 m <sup>2</sup> GFA	18	18
RESTAUR. WITHIN MANOR	RESTAURANT	10x / 100m <sup>2</sup>	-158 m <sup>2</sup> GFA	16	18
RESTAURANT BASEMENT	B&B AMENITY SPACE	NO PARKING LOAD	N/A	0	0
CARRIAGE HOUSE	ACCESSORY DWELLING	0.5x / DWELLING	1x UNIT (MANAGER SUITE)	0.5	3
SPA	WELLNESS SPA	2.5x / 100 m <sup>2</sup>	557.4 m <sup>2</sup> GFA	14	16
SPA HOTEL	RENTAL SUITE (HOTEL)	1x / GUEST ROOM	12 UNITS	12	14
BANQUET BASEMENT	PLACE OF ASSEMBLY	10x / 100 m <sup>2</sup> GFA	174.2 m <sup>2</sup>	18	18
BANQUET HALL	PLACE OF ASSEMBLY	10x / 100 m <sup>2</sup> GFA	348.4 m <sup>2</sup>	35	38
BANQUET VERANDAH	PLACE OF ASSEMBLY	NO PARKING LOAD	N/A	0	0
BANQUET HOTEL	RENTAL SUITE (HOTEL)	1x / GUEST ROOM	7 UNITS	7	8
HOTEL	RENTAL SUITE (HOTEL)	1x / GUEST ROOM	8 UNITS	8	12
CABINS	RENTAL SUITE (HOTEL)	1x / GUEST ROOM	27 UNITS	27	27
MAINTENANCE BUILDING	ACCESSORY USE	NO PARKING LOAD	N/A	0	0
			TOTAL	162	182
<b>PART B</b>					
APARTMENT	DWELLINGS	1.2x / DWELLING	45 SUITES	54	54
VISITOR	VISITOR	0.2x / DWELLING	45 SUITES	9	9
			TOTAL	63	63

NOTE: SOME ITEMS LISTED WITH MULTIPLE ENTRIES (RESTAURANT / BANQUET HALL) ARE CONTIGUOUS SUITES AND NOT TO BE INTERPRETED AS SEPARATE ENTITIES

